

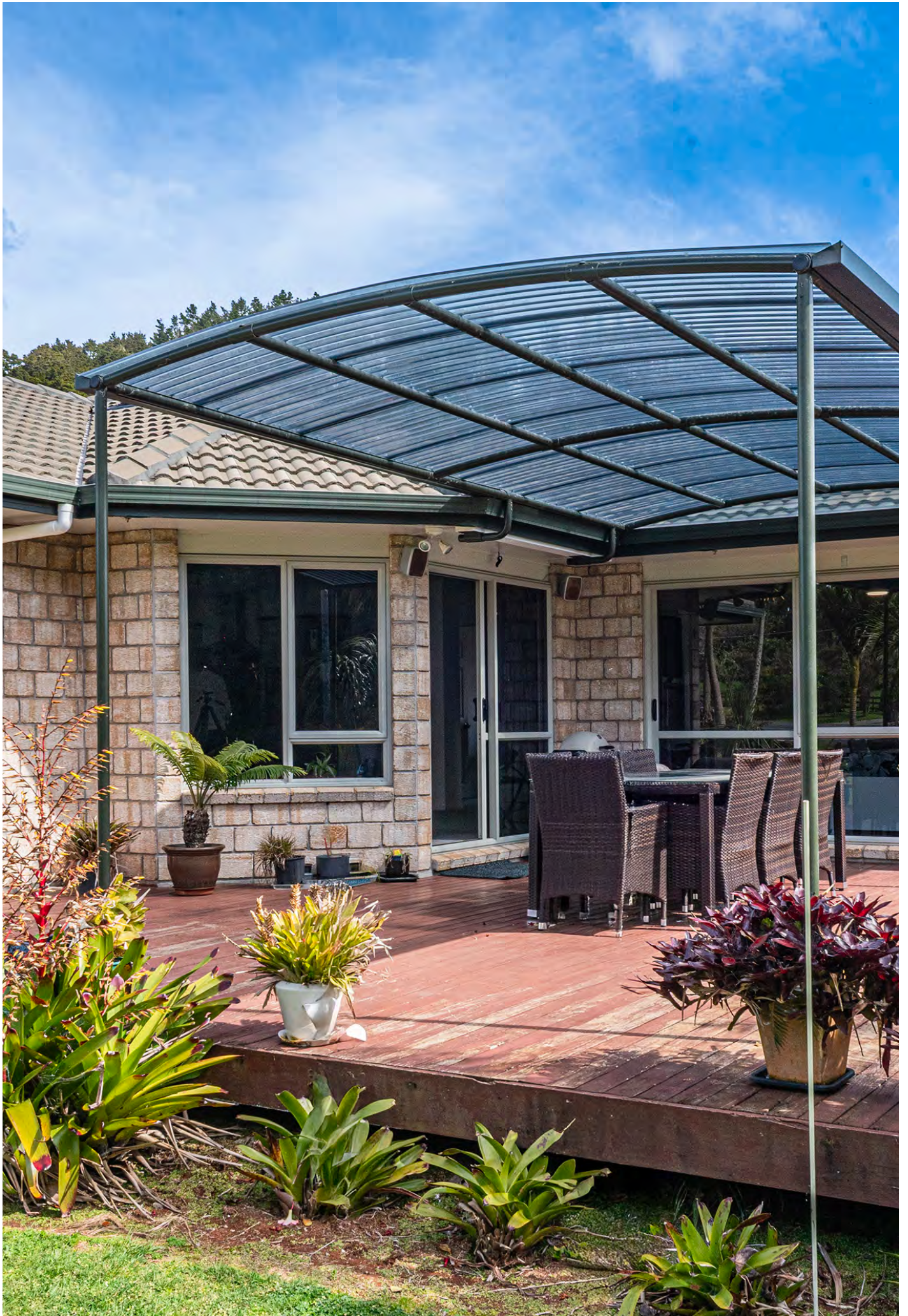


Boundary Line Indicative Only

Ngararatunua
237 Pipiwai Road

Proudly marketed by Steve & Miriam Davis

Harcourts
Whangarei





“

...offers wonderful outdoor living and recreation options requiring minimal work...

”



4 2 1 2 3

Popular Pipiwai Road - Lifestyle Living At Its Best!

FOR SALE

FLOOR AREA 235sqm

LAND AREA 4034sqm

Purchasers looking for an exceptional lifestyle, a Palm Tree Oasis in a great location need to view this low maintenance lifestyle property now! Private and secluded yet within close proximity to Kamo Village and every amenity you need with the best schools, and kindergartens in the area provided, the children are all sorted.

Beautifully presented and lovingly maintained, the fully fenced level property (4,034 sqm more or less) is surrounded by established trees and manicured gardens. The property offers wonderful outdoor living and recreation options requiring minimal work, providing ample time and space for the family to enjoy with the children and pets. Triple garaging is a breeze, plus a carport providing covered parking space for the caravan or boat.

Facing northerly, the home is warm and inviting. Modern one level, Brick and Tile with four bedrooms and two bathrooms this home is decorated with a light and neutral decor, (235m2) and provides open plan living with the kitchen being the hub of the home, perfectly situated for indoor and outdoor covered living for family and guests is a breeze.

Plenty of water is provided on the property with two 28k litre water tanks and a septic system, with a garden shed to store all the tools covering the family needs.

With so much more on offer, purchasers who are seeking comfort and tranquility, this property provides an opportunity not to be missed.

harcourtswangarei.co.nz/property/WR47824





Property Information

Property Type	Lifestyle Property
Rooms	Dining Room, 3 Double Bedrooms, Single Bedroom, Family Room, Separate Laundry
Hot Water	Gas
Heating	Gas Bottles, Ventilation System
Insulation	Ceiling, Floor, Walls
Kitchen	Modern, Open Plan
Dining	Combined Kitchen, Open Plan Dining
Bathrooms	Ensuite, Separate WCs
Lounge	Separate
Stove	Gas (bottled)
Interior Condition	Very Good
Exterior	Brick / Masonry Veneer
Exterior Condition	Very Good
Roof	Concrete Tile
Flooring	Carpet, Tiles, Vinyl
Garaging	Automatic Doors, Boat Parking, Double, Internal Access, Off St Parking, Single
Fencing	Fully Fenced
Aspect	Northerly
Views	Private, Rural
Sewage	Septic Tank
Water	Tank
Frontage	Street
Amenities	Close to Schools, Close to Shops

Features & Chattels

Living Rooms	1
Chattels	Bathroom Extractor Fan, Dishwasher, Drapes, Fixed Floor Coverings, Garage Door Opener Remote Control, Garden Shed, Heat Pump, Heated Towel Rail, Light Fittings, Rangehood, Smoke Detectors, TV Aerial, Wall Oven
Other Features	Gas fireplace, Gas hob, Moisture Master, Mower shed, Spa, Garden tools

Additional Information

More Details URL	harcourtswhangarei.co.nz/property/WR47824
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Rental Appraisal

22 September 2025

Ngararatunua 237 Pipiwai Road

4 2 2 3

Rental Estimate: \$700.00 - \$780.00 per week

Comparable Properties

Address	Bedrooms and Bathrooms	Rent Per Week
Summer Place, Kamo	4 Bedrooms, 2 Bathrooms	\$700.00
Highfield Way, Maunu	4 Bedrooms, 2 Bathrooms	\$730.00
Smithville Road, Kamo	3 Bedrooms, 2 Bathrooms	\$760.00
Knight Road, Ruatangata	4 Bedrooms, 2 Bathrooms	\$780.00

Are you considering purchasing this home as an investment?

We are a highly experienced award-winning property management team who service the Whangarei area and would be delighted to manage your investment property. We take property management seriously and our results speak for themselves.

99.54% of our properties are tenanted

99.36% of our tenants pay their rent on time

To ensure your investment property reaches it's full potential, contact us today.

Harcourts Just Rentals

Your Local Property Management Specialists
09 438 2054 | justrentalsnth@harcourts.co.nz

Disclaimer: This report is a market appraisal and does not purport to be a valuation, registered or otherwise. It provides an indication only of the amount the subject property may rent for. It has been prepared based on information provided by the owner and incorporates no warranty or guarantee as to the accuracy of the information which the owner has provided. The rental estimate is provided on the presumption that the home meets all legislative requirements under the Residential Tenancies Act 1986 and other relevant legislation, regulations and policies (including all Acts or Regulations in amendment, consolidation or substitution thereof). Your property can not be rented if it is not compliant with the Residential Tenancies (Smoke Alarms and Insulation) Regulations 2016, the Healthy Homes Guarantee Act 2017, and the Residential Tenancies (Healthy Homes Standards) Regulations 2019. Full compliance with Healthy Homes Standards is required from 1 July 2025. Information about these regulations can be found here: <https://www.tenancy.govt.nz/forms-and-resources/?topic=12&type=&target=&keyword=>. This report is solely to provide information to the property owner and/or addressee. Any person, other than the property owner or addressee, who relies on this report for any purpose does so in all respects at their own risk.

Title



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R.W. Muir
Registrar-General
of Land

Identifier **87010**
Land Registration District **North Auckland**
Date Issued 19 September 2003

Prior References
NA118B/923

Estate Fee Simple
Area 4034 square metres more or less
Legal Description Lot 6 Deposited Plan 321738
Registered Owners
Diane Heather Lawrence, Graeme Robert John Lawrence and PAG Trustees Limited

Interests

Appurtenant hereto are rights of way, and electricity and telecommunication rights created by Transfer D159653.2 - 24.6.1997 at 3.33 pm

Appurtenant hereto is a right of way, and electricity and telecommunications rights specified in Easement Certificate D272571.3 - 18.5.1998 at 10.22 am

The easements specified in Easement Certificate D272571.3 are subject to Section 243 (a) Resource Management Act 1991 5735592.7 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 19.9.2003 at 9:00 am

Appurtenant hereto are right of way, right to transmit telecommunications and convey stormwater created by Easement Instrument 5735592.11 - 19.9.2003 at 9:00 am

Subject to a right to transmit telecommunications over part marked L on DP 321738 created by Easement Instrument 5735592.11 - 19.9.2003 at 9:00 am

The easements created by Easement Instrument 5735592.11 are subject to Section 243 (a) Resource Management Act 1991 Land Covenant in Easement Instrument 5735592.12 - 19.9.2003 at 9:00 am

Subject to an electricity easement (in gross) over part marked L on DP 321738 in favour of Northpower Limited created by Transfer 5735592.13 - 19.9.2003 at 9:00 am

The easements created by Transfer 5735592.13 are subject to Section 243 (a) Resource Management Act 1991 Fencing Covenant in Transfer 5824490.2 - 4.12.2003 at 9:00 am

[illegible]

Rates

Legal Description:	LOT 6 DP 321738
Assessment Number:	0032039612
Property ID:	110729
Address:	237 Pipiwai Road Whangarei 0176
View Maps:	WDC Maps Google Maps
Land Area (hectares):	0.4034
Capital Value:	2025/2026 \$1,075,000
Land Value:	2025/2026 \$435,000
Record of Title:	87010
Floor Area (square metres):	235
Site Area (square metres):	235
Improvements:	DWG OB OI
Land Use Code:	Residential Single Unit
Number of Units:	1
Property Category:	RD200B
Zone (view District Plan Map):	District Plan Map
Related Properties:	

WDC			
General Residential	Land Value	435000	\$1,269.03
Uniform Annual General Charge	SUIPs	1	\$901.00
Hikurangi Swamp Drainage - Class F	Area (Ha)	0	\$0.99
Hikurangi Swamp Major Scheme - Class F	Area (Ha)	0	\$1.95
Stormwater	SUIPs	1	\$79.00
Total			\$2,251.97
NRC			
NRC - Regional Council Services	SUIPs	1	\$229.89
NRC - Regional Economic Development	Land Value	435000	\$13.22
NRC - Regional Emergency & Hazard Management	SUIPs	1	\$67.31
NRC - Regional Flood Infrastructure	SUIPs	1	\$41.66
NRC - Regional Land and Freshwater Management	Land Value	435000	\$131.63
NRC - Regional Pest Management	SUIPs	1	\$109.47
NRC - Regional Rescue Services	SUIPs	1	\$8.87
NRC - Regional Sporting Facilities	SUIPs	1	\$16.09
NRC - Regional Transport Rate	SUIPs	1	\$30.40
Total			\$648.54
Total			\$2,900.51

WDC GIS MAPS - Zoning



Commercial and Mixed Use Zones

- Local Centre Zone
- Neighbourhood Centre Zone
- Commercial Zone
- Mixed Use Zone
- Town Centre Zone
- City Centre Zone
- Waterfront Zone
- Shopping Centre Zone

Industrial Zones

- Light Industrial Zone
- Heavy Industrial Zone

Open Space and Recreation Zones

- Natural Open Space Zone
- Open Space Zone
- Sport and Active Recreation Zone

Special Purpose Zones

- Airport Zone
- Hospital Zone
- Port Zone
- Ruakaka Equine Zone

Zones

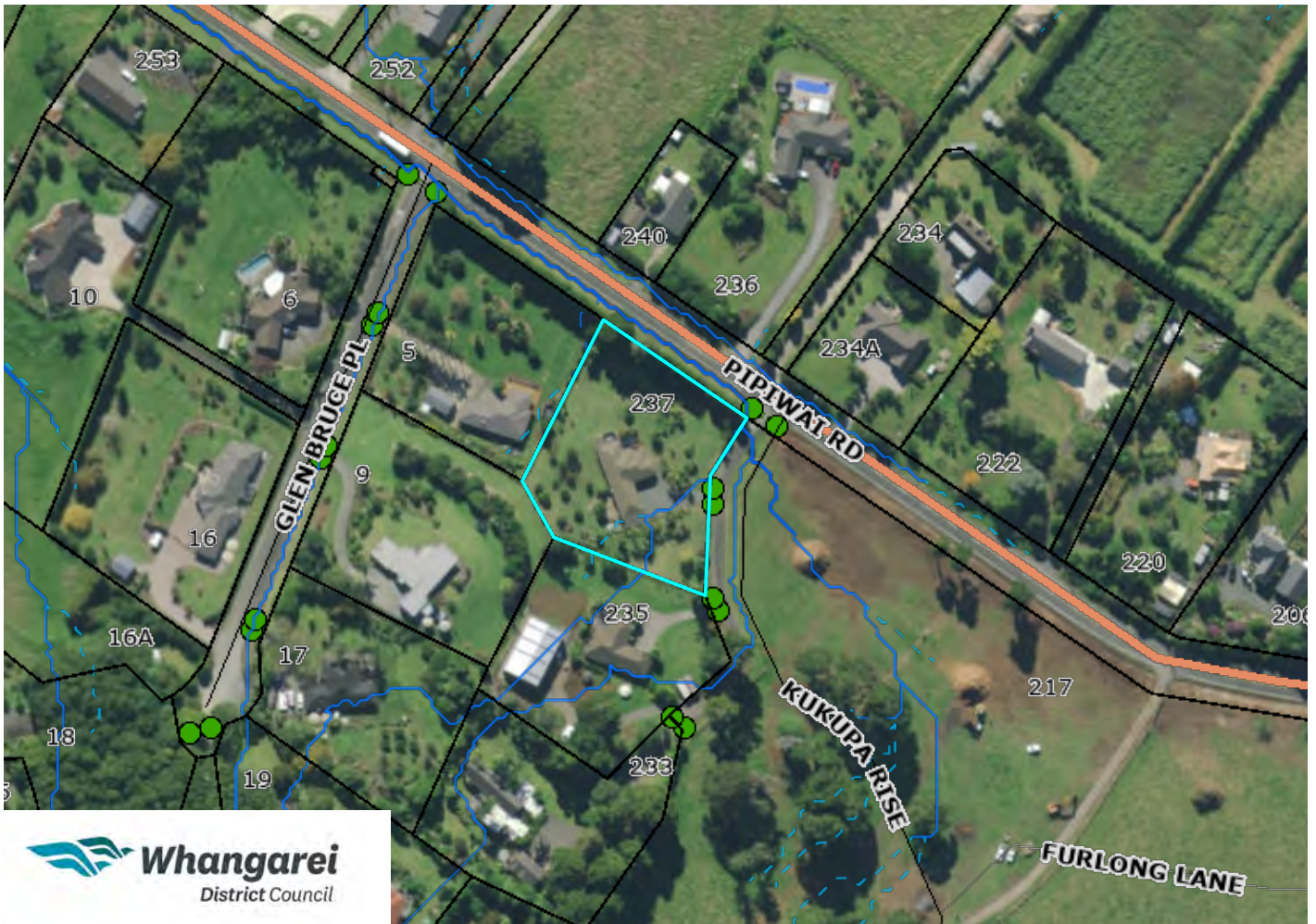
Residential Zones

- Large Lot Residential Zone
- Low Density Residential Zone
- General Residential Zone
- Medium Density Residential Zone

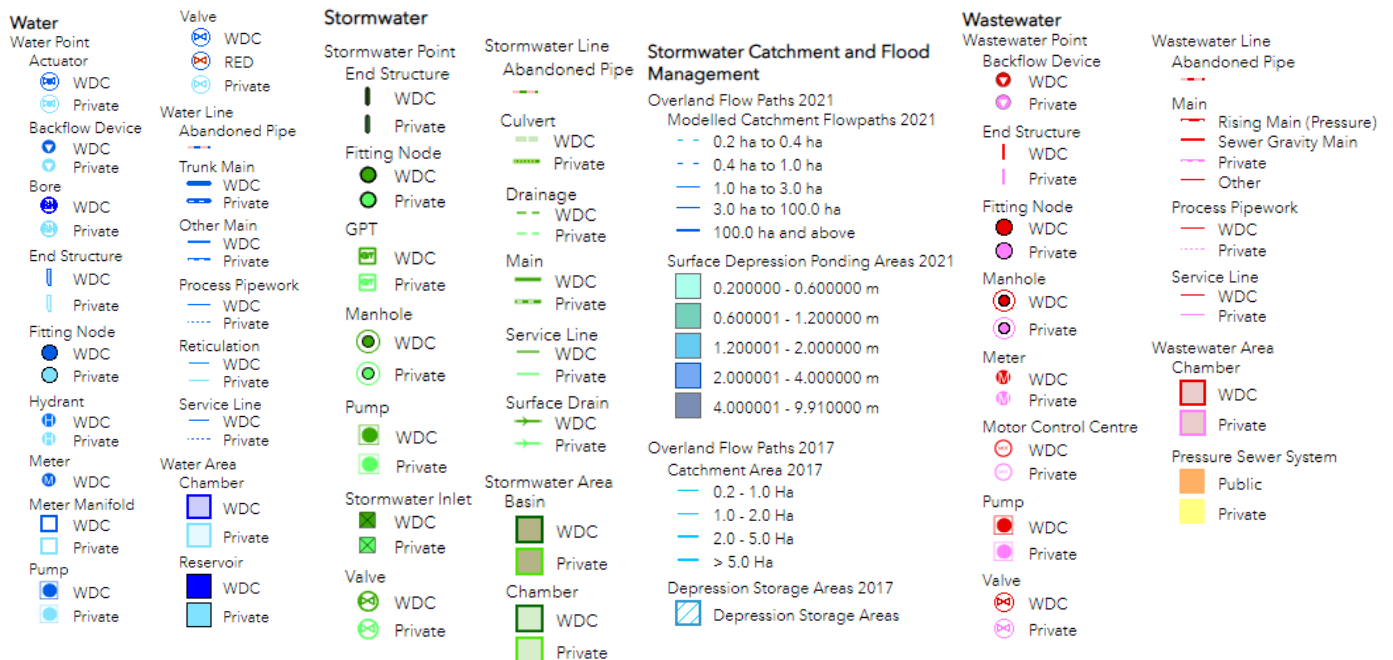
Rural Zones

- Rural Production Zone
- Rural Lifestyle Zone
- Settlement Zone Residential Sub-Zone
- Settlement Zone Centre Sub-Zone
- Settlement Zone Industry Sub-Zone
- Future Urban Zone
- Strategic Rural Industries Zone
- Fonterra Kauri Milk Processing SRIZ - Ancillary Irrigation Farms

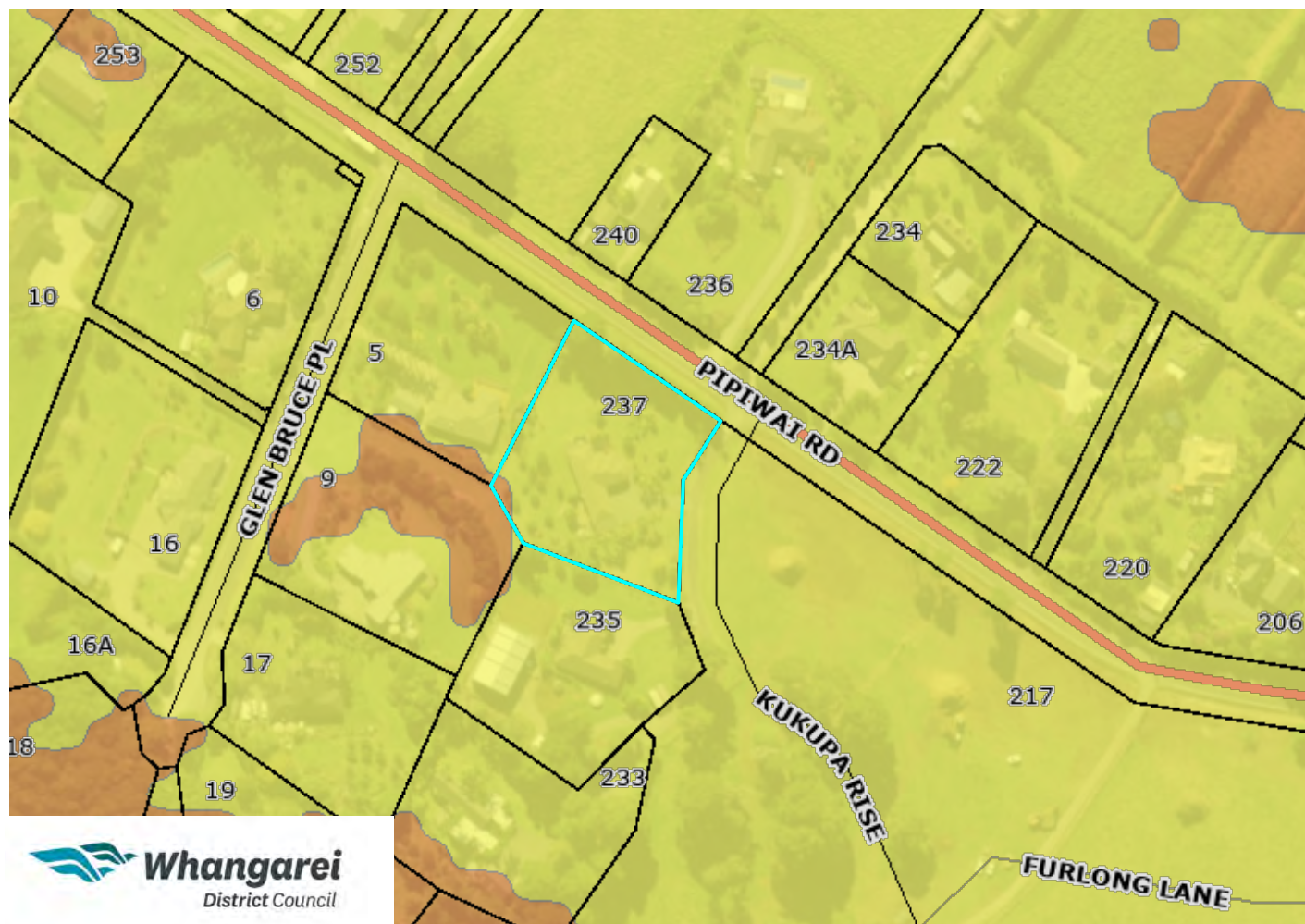
WDC GIS MAPS - Assets



Assets Map



WDC GIS MAPS - Land Stability



Land Stability

Landslide Susceptibility Zone





STEVE 021 820 015 | **MIRIAM** 027 577 6335
steve.davis@harcourts.co.nz | miriam.davis@harcourts.co.nz
www.teamdavis.co.nz | harcourtswhangarei.co.nz
Optimize Realty Ltd MREINZ | Licensed Agent REAA 2008

Your Salespeople

Steve & Miriam Davis

Steve & Miriam Davis are “hardworking”, “extremely professional”, “delightful to work with” and “achieve great results”, what our clients say.

For us real estate is all about the people, working and helping our clients to achieve major changes and or goals in their lives. We all come to the point where we need to sell a property for a variety of life-changing reasons. We love helping people to make that change, as smoothly and as successfully as possible, no matter what the challenges.

We work together as ‘Team Davis’ and sell homes with the promise to be ‘committed to working for our clients’. Our goal is to get the best result for you, as the seller. We use strategic marketing campaigns, active selling, clear communication and strong negotiation. With strict industry laws and rules, we do this while protecting all your interests through compliance.

We deliver great results as we aim to work for our clients to secure the best result as we are committed to working for clients. We also give back to our community, which is why we sponsor schools in our local area and find opportunities to get involved in community activities.

You can only sell your property once, so it’s important to do it well. The key to this is good marketing. Marketing is a bit like fishing; you need to cast your net well to find the best buyers who will pay the highest price for your property. When we have found the best buyers, we then focus on negotiating the best result. We are results-driven, with testimonials that testify to our success.

So, if you are looking for an experienced real estate sales team, with a commitment to work for you, providing you with a smooth journey through the process while securing the best result, then, please get in touch with us today.

Just a little more about Steve and Miriam:

Steve has acquired excellent skills in sales and marketing and negotiating major multi-million-dollar contracts in a long career in the printing, publishing and packaging industries. Becoming a National Sales Manager in his 20s, and then General Manager in his 30s. He held senior management positions in a variety of National and International companies with extensive overseas business experience.

Miriam’s past experience as a private teacher, facilitator, property manager and sales consultant has given her a clear business head, an eye for detail, oodles of patience, empathetic communication, and organisational skills.

In our spare time, we love spending time with our family and enjoy fishing and outdoor activities or just relaxing at our beach home.



Steve Davis

Licensed Real Estate Salesperson

M 021 820 015

steve.davis@harcourts.co.nz

Miriam Davis

Licensed Real Estate Salesperson

M 027 577 6335

miriam.davis@harcourts.co.nz

Harcourts
Whangarei



Property Documents

This information has been supplied by the Vendor or the Vendors agents. Accordingly, Optimize Realty Limited cannot guarantee its accuracy and reliability.

All intending Purchasers are advised to conduct their own due diligence investigation into the same. To the maximum extent permitted by law, Optimize Realty Limited do not accept any responsibility to any person for the accuracy of the information herein.



Code Compliance Certificate: 70655
Section 436, Building Act 2004

WHANGAREI
DISTRICT COUNCIL

Issued:02Mar07

The Building

Street Address of building: 237 PIPIWAI RD, RD 6, WHANGAREI 0176

Legal Description of land where building is located:
LOT 6 DP 321738
LLP 108434

Current, lawfully established use: NEW BUILDING

Year first constructed: 02 MARCH 2007

The Owner

Name of owner: W L and L M CLARKE
Mailing Address: C/O PO BOX 4126
KAMO
WHANGAREI

Contact person: HARRISON CONSTRUCTION
Mailing Address: PO BOX 4126
KAMO
WHANGAREI

Street address/registered office: 237 PIPIWAI RD
RD 6
WHANGAREI 0176

Building Work

NEW DWELLING

Building Consent number: 70655

Issued by: WHANGAREI DISTRICT COUNCIL

*Creating the ultimate
living environment*

Forum North, Private Bag 9023
Whangarei, New Zealand
Telephone: +64 9 430 4200
Facsimile: +64 9 438 7632
Email: mailroom@wdc.govt.nz
Website: www.wdc.govt.nz

Code Compliance

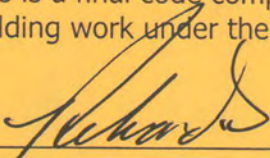
The building consent authority named below is satisfied, on reasonable grounds, that -

(a) the building work complies with the building consent.

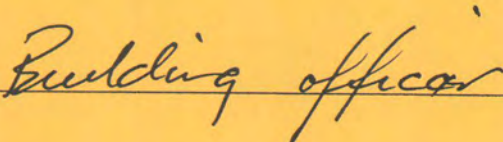
Council Charges

The Council's total charges payable on the uplifting of this code compliance certificate in accordance with the attached details are: \$0.00

This is a final code compliance certificate issued in respect of all of the building work under the above building consent



Signature



Position

On behalf of: WHANGAREI DISTRICT COUNCIL

Date: 02 Mar 2007

Final Code Compliance Certificate 70655

**Issue Document**

BUILDING CONSENT No: 70655
Section 35, Building Act 1991
Issued: 22Dec03

70655

Project Information Memorandum No: 66850

Applicant

W L and L M CLARKE
C/O PO BOX 4126
KAMO
WHANGAREI

Agent

HARRISON CONSTRUCTION
PO BOX 4126
KAMO
WHANGAREI 0101

Site Information

PROPERTY ID: 108434
STREET ADDRESS: PIPIWAI RD, R D 6, WHANGAREI 0121
LEGAL DESCRIPTION: LOT 6 DP 321738

Project Information

PROJECT IS FOR: New Building
INTENDED USE(S): NEW DWELLING
INTENDED LIFE: Indefinite but not less than 50 years
VALUE OF WORK: \$178,000.00
NUMBER OF STAGES: 1

Fees

COUNCIL'S TOTAL CHARGES FOR THIS BUILDING CONSENT ARE: \$561.70
PAYMENTS RECEIVED TO DATE:
Receipt number: 2606757 Date: 18Dec03 Amount: \$561.70

This Consent is issued subject to the following conditions:

=====

1: General

No Requirements.

2: Dust Nuisance

The applicant must control dust nuisance created by any site or building works.

3: Toilet Facilities

Toilet facilities must be provided within reasonable distance of the construction site. Ground discharge is no longer acceptable.

4: Smoke Alarms

Smoke alarms are to be installed in compliance with the building code.

Signed for and on behalf of the Council

G. Byers

Name:.....

Signature:.....

Date: 22./12./03.



Wastewater – Pressure (Pump Make/Model: _____)

Connection Diameter	Pipe Material	Connection Type
☐ 40mm	☐ uPVC	☐ Public Utility Service Connection
☐ 50mm	☐ Vitrified Clay	☐ Septic Tank
☐ 80mm	☐ Concrete	☐ Other: _____
☐ Other: _____ mm	☐ Other: _____	

Wastewater - Gravity

Connection Diameter	Pipe Material	Connection Type
☐ 65mm	☒ uPVC	☐ Public Utility Service Connection
☐ 80mm	☐ Vitrified Clay	☒ Septic Tank
☒ 100mm	☐ Concrete	☒ Other: <u>WPH</u>
☐ Other: _____ mm	☐ Other: _____	

Wastewater – Disposal System Description

Septic Tank
Size: _____ litres
Type: ☐ Ecotank
☐ Biocycle
☐ Other: _____

Effluent Field
☒ Trench: 22x1
☐ Deep Soakhole Depth: .500
No. of holes: _____
☐ Other: _____

Sanitary Facilities
☐ Toilet: (No. _____)
☐ Bidet: (No. _____)
☐ Urinal: (No. _____)
☐ Yes – Type: _____

Waste Disposal Unit
☐ No
☐ Yes – Type: _____

I, Karl Hansen
being: ☐ owner / occupier
☐ craftsman plumber (Reg. No.: 76)
☐ registered drain layer (Reg. No.: 16916)

certify that this Private Utility Service As-Built Record is an accurate representation of the work carried out.

Signature: _____

Date: _____ / _____ / _____



PLAN

**Private Utility Service As Built Record
(Section 26, Building Act 1991)**

PART A: Consent Details (to be completed in all cases)

Building Consent No: 70655
Applicants Name: WL & LM Clarke
and Mailing Address: _____
Site Address: Pipirahi Rd R06 Whangarei

**PART B: As Built Services Information
(To be completed in relation to service provided, ticking each box as appropriate)**

Stormwater

Pipe Diameter	Pipe Material	Connection Type
☐ 80mm	☒ uPVC	☐ Public Utility Service connection
☒ 100mm	☐ Vitrified Clay	☐ Soak Hole
☐ 150mm	☐ Ductile Iron	☐ Stream
☐ 225mm	☐ Concrete	☐ Drain
☒ Other: <u>90</u> mm	☐ Other: _____	☒ Other: <u>water tank</u>

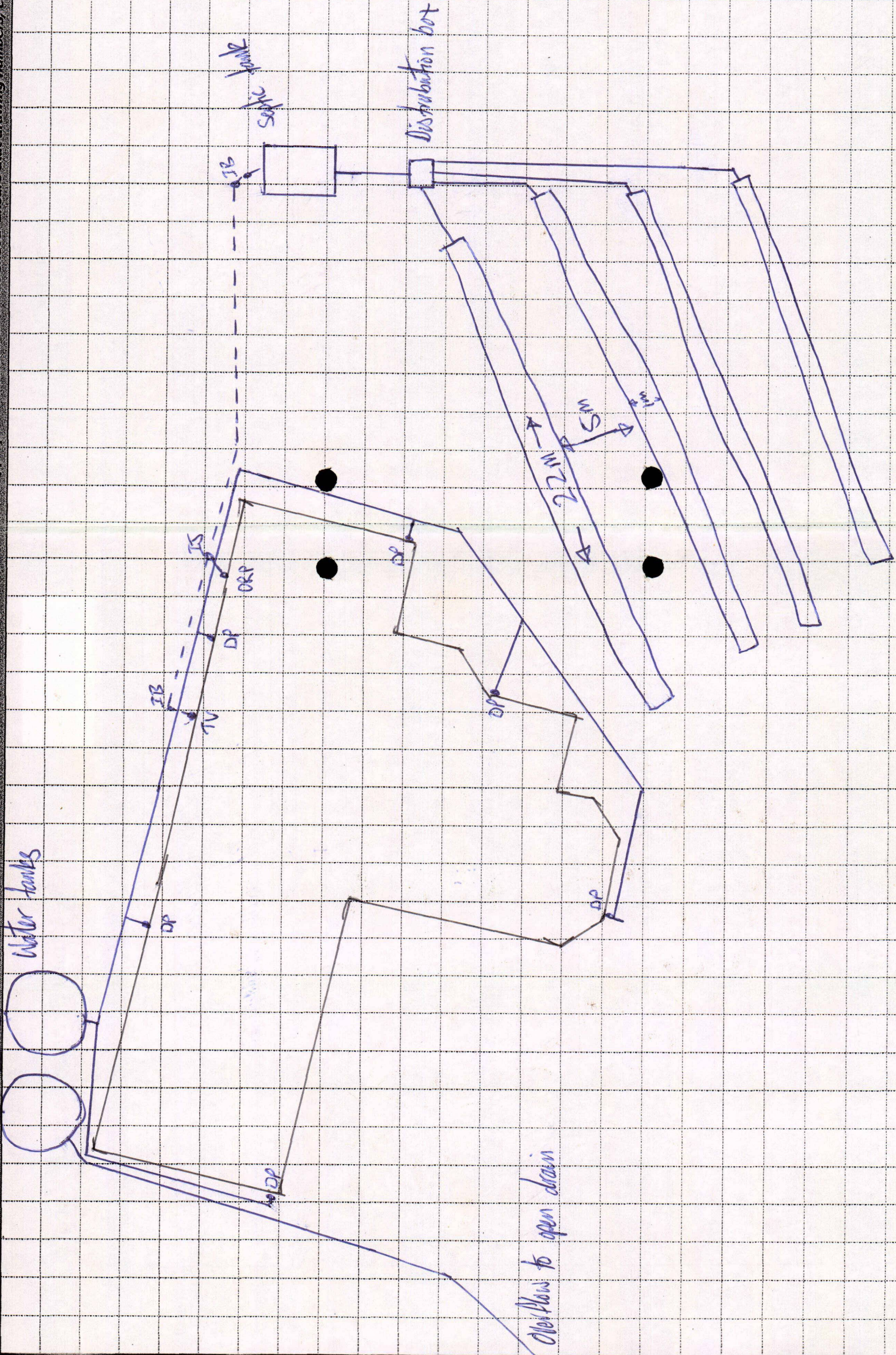
Water Supply

Pipe Material - Cold	Hot Water Cylinder	Meter Type
☐ uPVC	☐ High Pressure: _____ Litre	Make: _____
☐ Copper	☐ Low Pressure: _____ Litre	Model: _____
☐ Polybutylene		Diameter: _____ mm
☐ Other		Serial No: _____
Pipe Material - Hot		Reading: _____ m ³
☐ uPVC		(Quote all black figures inclusive of zeros only)
☐ Copper		
☐ Polybutylene		
☐ Other: _____		

NOTE: Part B: As Built Services Information Continued on last page

PART C: As Built Services Plan

(To be completed in all cases. If details are already noted on separate drawings then provide copies in duplicate as appropriate and attach to this sheet. Ensure that drawing numbers, etc., is noted below)



Scale: _____ in _____
 Site Address: _____

PART B: As Built Services Information Continued ...

Wastewater – Pressure (Pump Make/Model))

Connection Diameter	Pipe Material	Connection Type
☐ 40mm	☐ uPVC	☐ Public Utility
☐ 50mm	☐ Vitrified Clay	☐ Service Connection
☐ 80mm	☐ Concrete	☐ Septic Tank
☐ Other	☐ mm	☐ Other

Wastewater - Gravity

Connection Diameter	Pipe Material	Connection Type
☐ 65mm	☒ uPVC	☐ Public Utility
☐ 80mm	☐ Vitrified Clay	☐ Service Connection
☒ 100mm	☐ Concrete	☒ Septic Tank
☐ Other	☐ mm	☐ Other

Wastewater – Disposal System Description

Septic Tank

Size: _____ litres

Type: ☐ Ecotank ☐ Trench: _____ m

☐ Biocycle ☐ Deep Soakhole _____ m

☐ Other _____ m

No of holes: _____

Other _____

Sanitary Facilities

Toilet: No _____

Bidet: No _____

Urinal: No _____

Waste Disposal Unit

Toilet: No _____

Bidet: No _____

Urinal: No _____

Yes – Type: _____

I, Karl Hansen

being: ☐ owner ☐ Occupier

☐ craftsman plumber (Reg. No.: _____)

☒ registered drainlayer (Reg. No.: 16916)

certify that this Private Utility Service As-Built Record is an accurate representation of the work carried out.

Signature: _____ Date _____

WHANGAREI DISTRICT COUNCIL

Forum North • Private Bag 9023 • Whangarei • New Zealand
Telephone: (09) 430 4200 • 0800 WDC INFO • 0800 932 463 • Facsimile: (09) 438 7632
Website: <http://www.wdc.govt.nz> • E-mail: mailroom@wdc.govt.nz



Creating the ultimate living environment

Private Utility Service As Built Record
(Section 26, Building Act 1991)

PART A: Consent Details (to be completed in all cases)

Building Consent No: 70655

Applicants Name: Clarke Residence

and Mailing Address: Pipiwai Rd Whangarei

Site Address: _____

PART B: As Built Services Information

(To be completed in relation to service provided, ticking each box as appropriate)

Stormwater

Pipe Diameter	Pipe Material	Connection Type
☐ 80mm	☒ uPVC	☐ Public Utility
☒ 100mm	☐ Vitrified Clay	☐ Service Connection
☐ 150mm	☐ Ductile Iron	☐ Soak Hole
☐ 225mm	☐ Concrete	☐ Stream
☒ Other <u>90</u> mm	☐ Other	☐ Drain
		☒ Other <u>water tank</u>

Water Supply

Pipe Material - Cold

☐ uPVC

☐ Copper

☐ Polybutylene

☐ Other

Hot Water Cylinder

☐ High Pressure: _____ Litre

☐ Low Pressure: _____ Litre

Meter Type

Make: _____

Model: _____

Pipe material - Hot

☐ uPVC

☐ Copper

☐ Polybutylene

☐ Other

Diameter: _____ mm

Serial No: _____

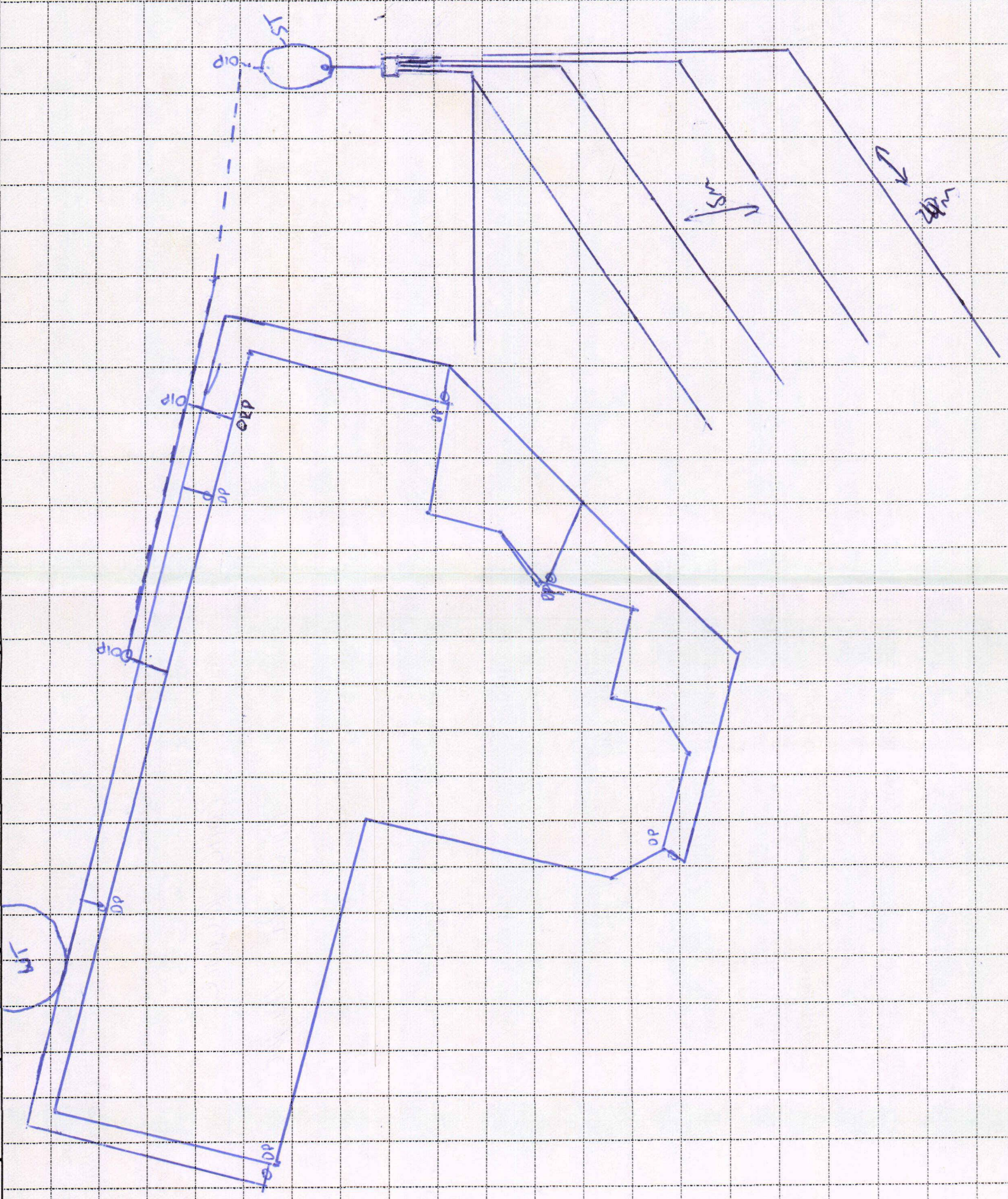
Reading: _____ m³

(Quote all black figures inclusive of zeros only)

NOTE: Part B: As Built Services Information Continued on last page

PART C : As Built Services Plan

(To be completed in all cases. If details are already noted on separate drawings then provide copies in duplicate as appropriate and attach to this sheet. Ensure that drawing numbers, etc, is noted below)



Scale: _____ in _____

Site Address: _____



TRUSS & FRAME DETAILING SERVICES

18 MacDonald St
Mt Maunganui
Ph (07) 574 0138



JOB No **XB0143**

Client: Harrison Construction Ltd

Job Name: 920B Clarke

Address: Lot 6
Pipiwai Road
Whangarei

Pitch: 22.5
Roof Material: Concrete Tile
Soffit Overhang: 740
Wind Area: High
Snow Load: 0 kPa

Trusses And Rafters At 900 Centres
Unless Stated Otherwise

FIXINGS

B=47x90 JH
N=47x120 JH
M=95x165 JH

A=CT200
S=Multigrips
D=Nail On Plate

NOTE

Please Contact The DETAILER for any queries regarding this Layout.

OR

Contact your local CARTERS Manufacturing Branch if any on site remedial work is required.

No modifications to Roof Trusses or Wall Frames are to be undertaken without first obtaining written authority from either The DETAILER or CARTERS Manufacturing.

CARTERS
MANUFACTURING
Ph 0800 CARTERS

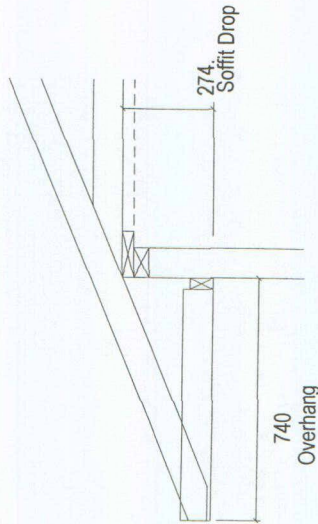
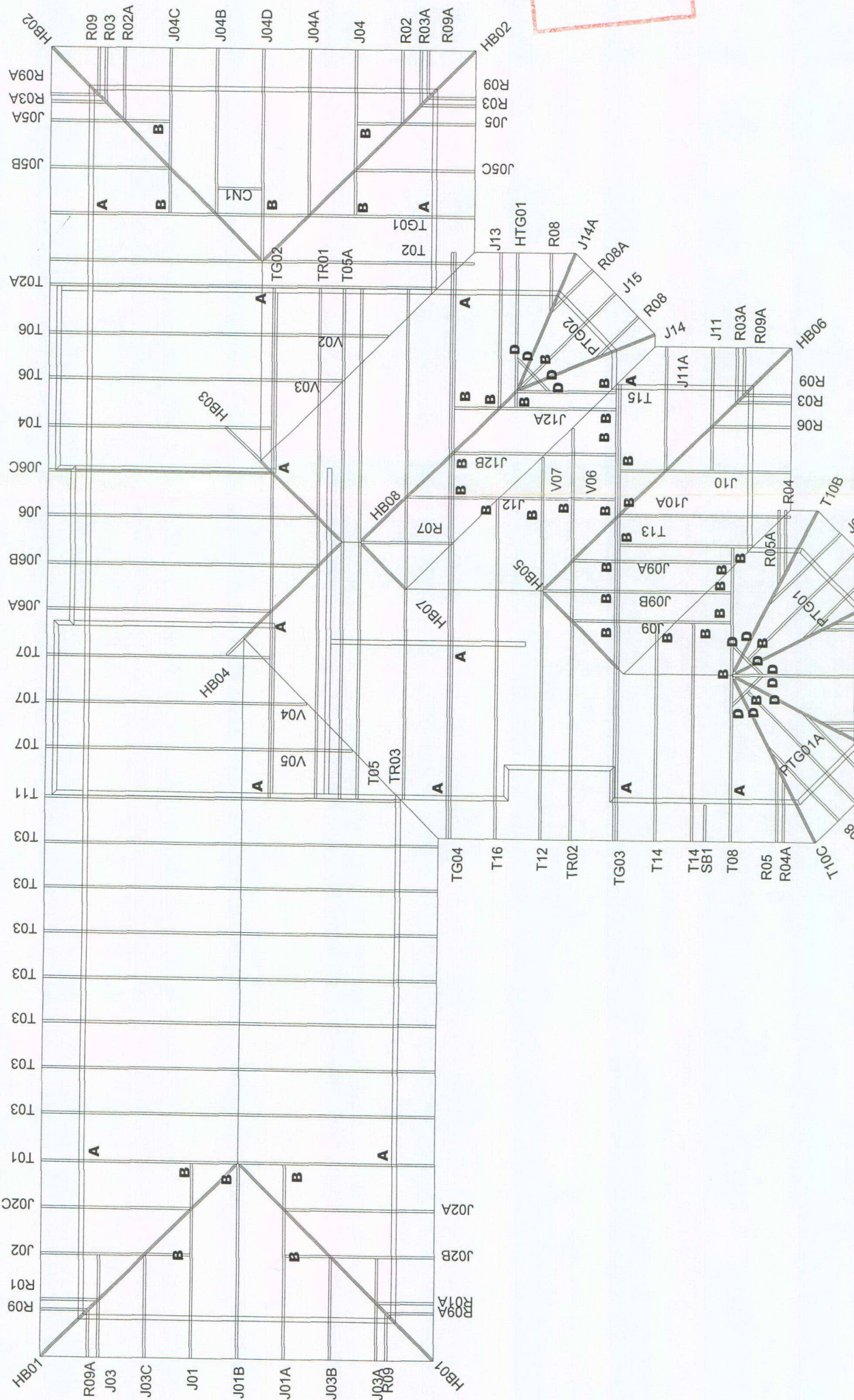
HIP BRACES

90 x 45 Hipboards are to be supported by a Hip Brace, fitted as per installation instructions supplied in Site Pack

See Page 2 for Dimensions
Lintel Statement and
Roof truss Bracing

DRAWN BY Dave Jones

DATE 11/11/03 PAGE 1 of 2



SOFFIT DETAIL

APPROVED

09 DEC 2003

ABC LTD

RECEIVED

09 DEC 2003

ABC LTD

RECEIVED

18 DEC 2003

WHANGAREI
DISTRICT COUNCIL

18 MacDonald St
Mt Maunganui
Ph (07) 574 0138



JOB No **XB0143**

Client: Harrison Construction Ltd

Job Name: 920B Clarke

Address: Lot 6
Pipiwai Road
Whangarei

Pitch: 22.5
Roof Material: Concrete Tile
Soffit Overhang: 740
Wind Area: High
Snow Load: 0 kPa

Trusses And Rafter At 900 Centres
Unless Stated Otherwise

All walls shown on this Layout
are considered to be load bearing

This Layout is to be read in
conjunction with Architectural plans

These lintels have been sized as per
the GANGLAM and FLITCH BEAM
selection manuals as provided by
MITek NZ Ltd.

HYPAN lintels have been sized as per
the HYPAN selection charts.

Unless otherwise stated all lintels are
as per NZS3604 1999.

LINTEL	SIZE	LENGTH
A	360 HY90 GARAGE DOOR SOLUTION OPT 2	4600mm
B	250 x 100	2800mm
C	200 x 100	2100mm
D	300 x 100	2500mm

WHANGAREI
DISTRICT COUNCIL

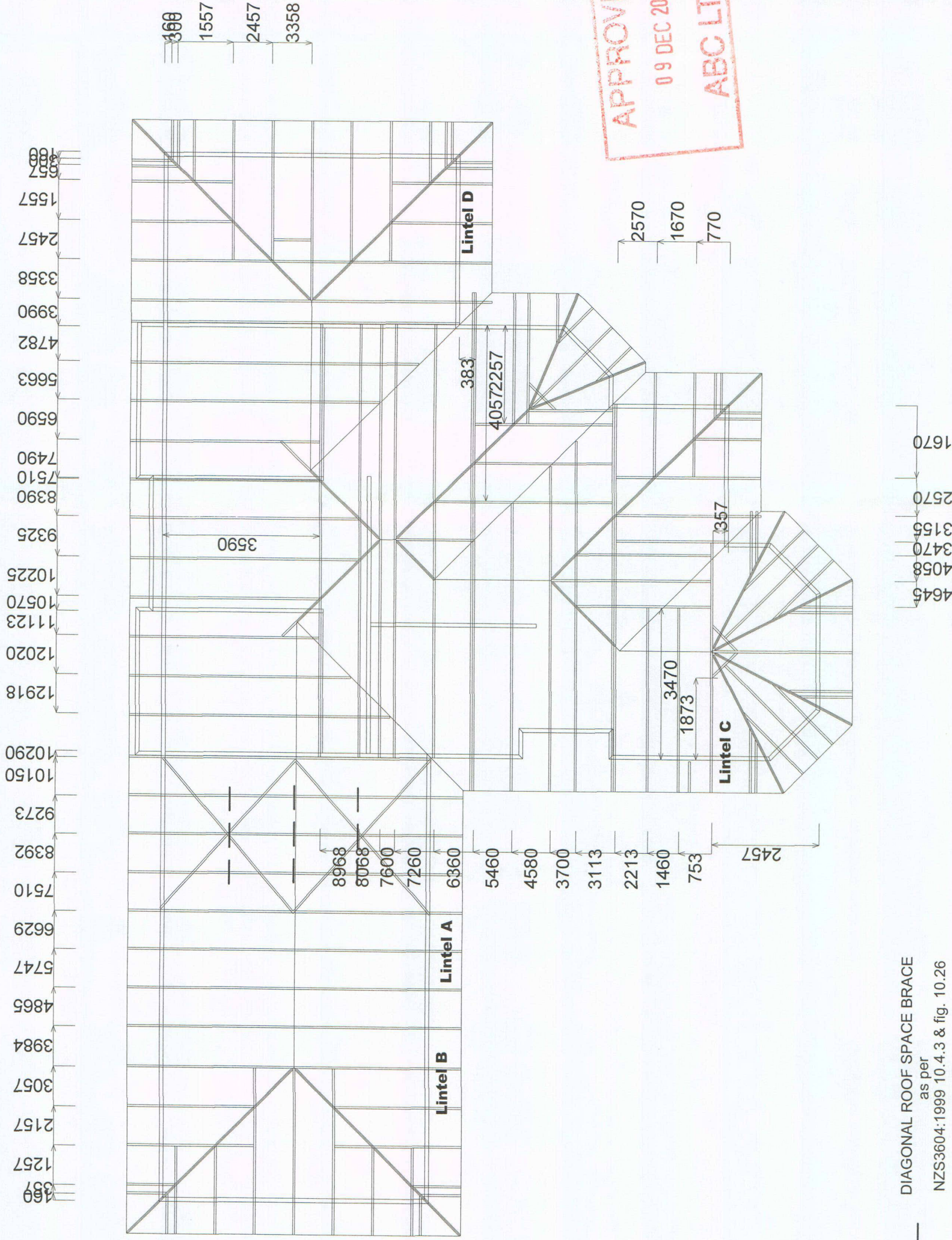
HIP BRACES

90 x 45 Hipboards are
to be supported by a
Hip Brace, fitted as per
installation instructions
supplied in Site Pack

See Page 1 for Truss
Layout and Fixings

DRAWN BY Dave Jones

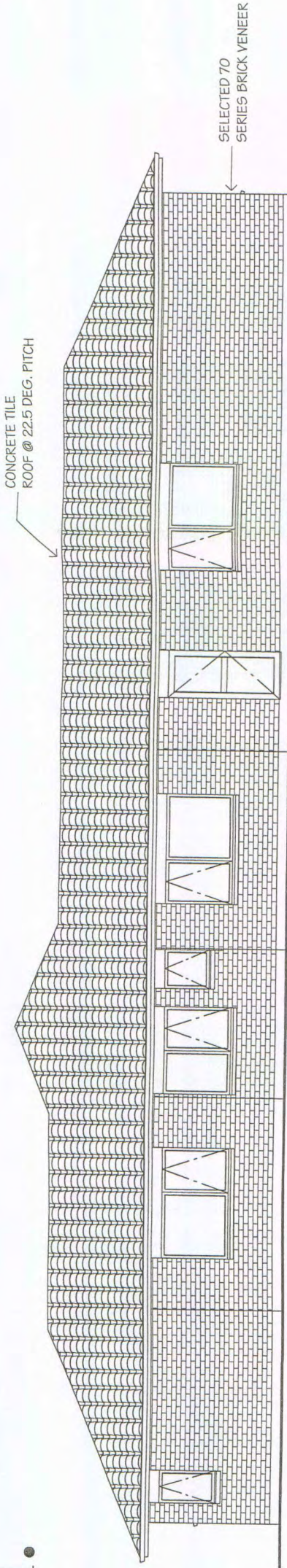
DATE 11/11/03 PAGE 2 of 2



DIAGONAL ROOF SPACE BRACE
as per
NZS3604:1999 10.4.3 & fig. 10.26

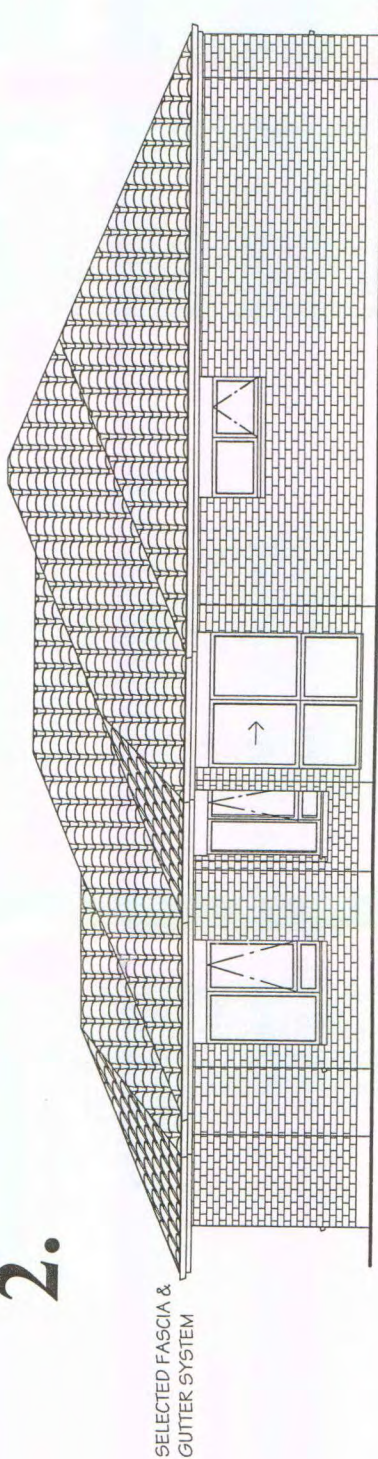
LUMBERLOK STRIP BRACE
WITH TENSIONERS

1.

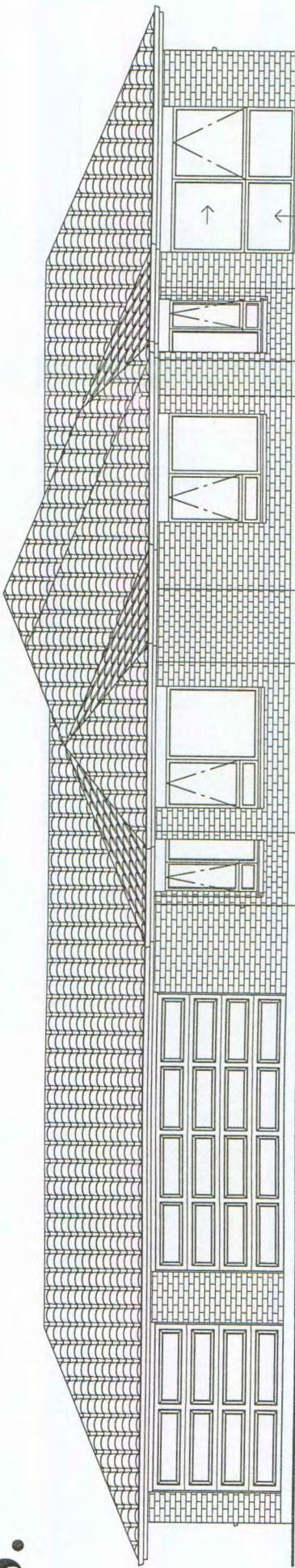


850 AL. DOOR
2010x860 TRIM

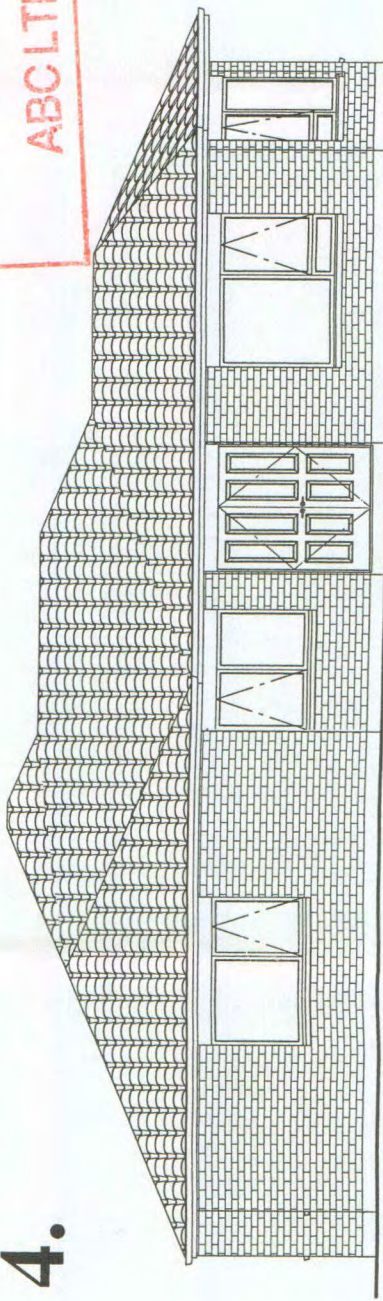
2.



3.



4.



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PLAN NAME

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AVENUE TRIPLE

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NOTES

- HIGH WIND ZONE
- CORROSION ZONE 1
- EARTHQUAKE ZONE C

JOB TITLE

CLARKE RESIDENCE

LOT 6, DPS-321738

PIPIWAI ROAD D

WHANGAREI

DRAWING TITLE

WHANGAREI DISTRICT ELEVATIONS

SALES

CHRIS

DRAWN

ADRIAN

CHECKED

JOB No.

920B

SHEET No.

1 / 8

SCALE

1:100

DATE

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NOTES

ALL BOUNDARY BEARINGS, LENGTHS AND PEG LOCATIONS TO BE CONFIRMED ON SITE PRIOR TO COMMENCING FOUNDATIONS, TO ENSURE HOUSE POSITION IS CORRECT, ANY DISCREPANCIES TO BE REPORTED TO 'THE DESIGNER' IMMEDIATELY

SEWER & STORMWATER CONNECTIONS TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF FOUNDATIONS

BUILDING PLATFORM TO BE FLAT WITH A SOIL BEARING CAPACITY OF NO LESS THAN 100kpa

KEY

- 100mm PVC STORMWATER DRAIN
 - 100mm PVC SOIL DRAIN
 - 65mm WASTE PIPES
 - oTV TERMINAL VENT
 - oIP INSPECTION POINT
 - oRG OVERFLOW RELIEF GULLY
 - oDP DOWNPIPES
- ALL DRAINAGE TO AS/NZS 3500.2.2

HIGH WIND ZONE
CORROSION ZONE 1
EARTHQUAKE ZONE C1

JOB TITLE

CLARKE RESIDENCE
LOT 6, DPS 321738
PIPIWAI ROAD
WHANGAREI

DRAWING TITLE

SITE & DRAINAGE

SALES CHRIS

DRAWN ADRIAN

CHECKED

JOB No.

920B

SHEET No.

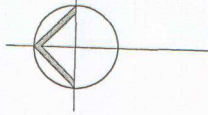
2 / 8

SCALE

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DATE

12 / 11 / 03



LOT No. 6
DPS 321738
LOT AREA = 4034 sqM

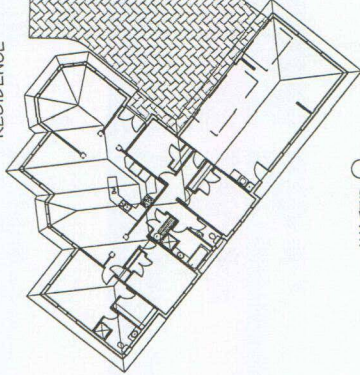
123d 16'
58.63

PIPIWAI ROAD

25d 41'
60.84

PROPOSED SEPTIC TANK BUILT TO
LOCAL AUTHORITIES
REQUIREMENTS

PROPOSED
RESIDENCE



PROPOSED RESIDENCE
(OWNERS CARE)

WATER
TANKS

149d 37'
21.85

1d 23'
40.46

289d 58'
54.61

SITE PLAN
N.T.S

DRAINAGE PLAN
1:200

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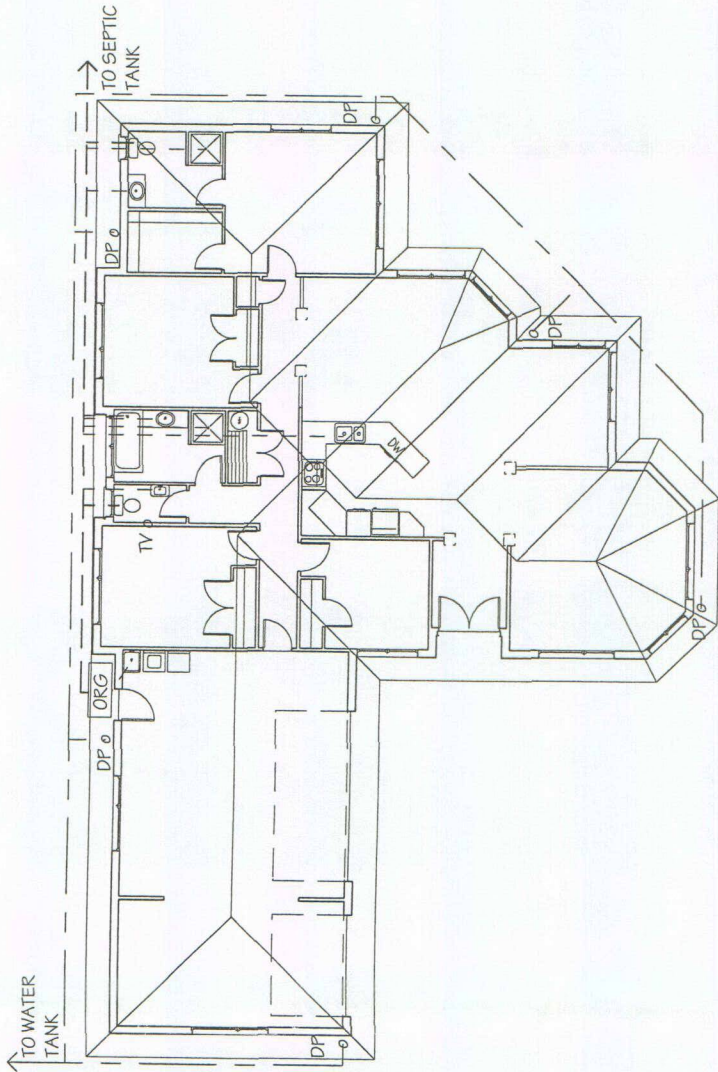
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KEY

- 100mm PVC STORMWATER DRAIN
 - 100mm PVC SOIL DRAIN
 - 65mm WASTE PIPES
 - oTV TERMINAL VENT
 - oIP INSPECTION POINT
 - oRG OVERFLOW RELIEF GULLY
 - oDP DOWNPIPES
- ALL DRAINAGE TO AS/NZS 3500.2.2

HIGH WIND ZONE
CORROSION ZONE 1
EARTHQUAKE ZONE C1

JOB TITLE

CLARKE RESIDENCE
LOT 6, DPS 321738
PIPIWAI ROAD
WHANGAREI

DRAWING TITLE

SITE & DRAINAGE

SALES CHRIS

DRAWN ADRIAN

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NOTES

90x45 LASERFRAME
70x45 LASERFRAME

- ALL LINTEL AND BEAM SIZES CALCULATED FOR STANDARD & GIRDER TRUSSES USING APPROPRIATE GANGNAIL LINTEL TABLES AND TO BE CONFIRMED BY CARTERS MANUFACTURING AT PRE-CUT STAGE

- SHOWER TRIM SIZE 905x925 R/O

-ALL WARDROBE SHELVING TO BE 1.6m HIGH
(NOG TO SUIT)

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ELEVATION GUIDE

- HIGH WIND ZONE

CORROSION ZONE 1

- EARTHQUAKE ZONE C

JOB TITLE

CLARKE RESIDENCE

LOT6, DPS 321738

PIPIWAI ROAD

WHANGAREI

DRAWING TITLE

FLOOR PLAN

SALES	CHRIS
-------	-------

DRAWN
ADRIAN

CHECKED

JOB No.

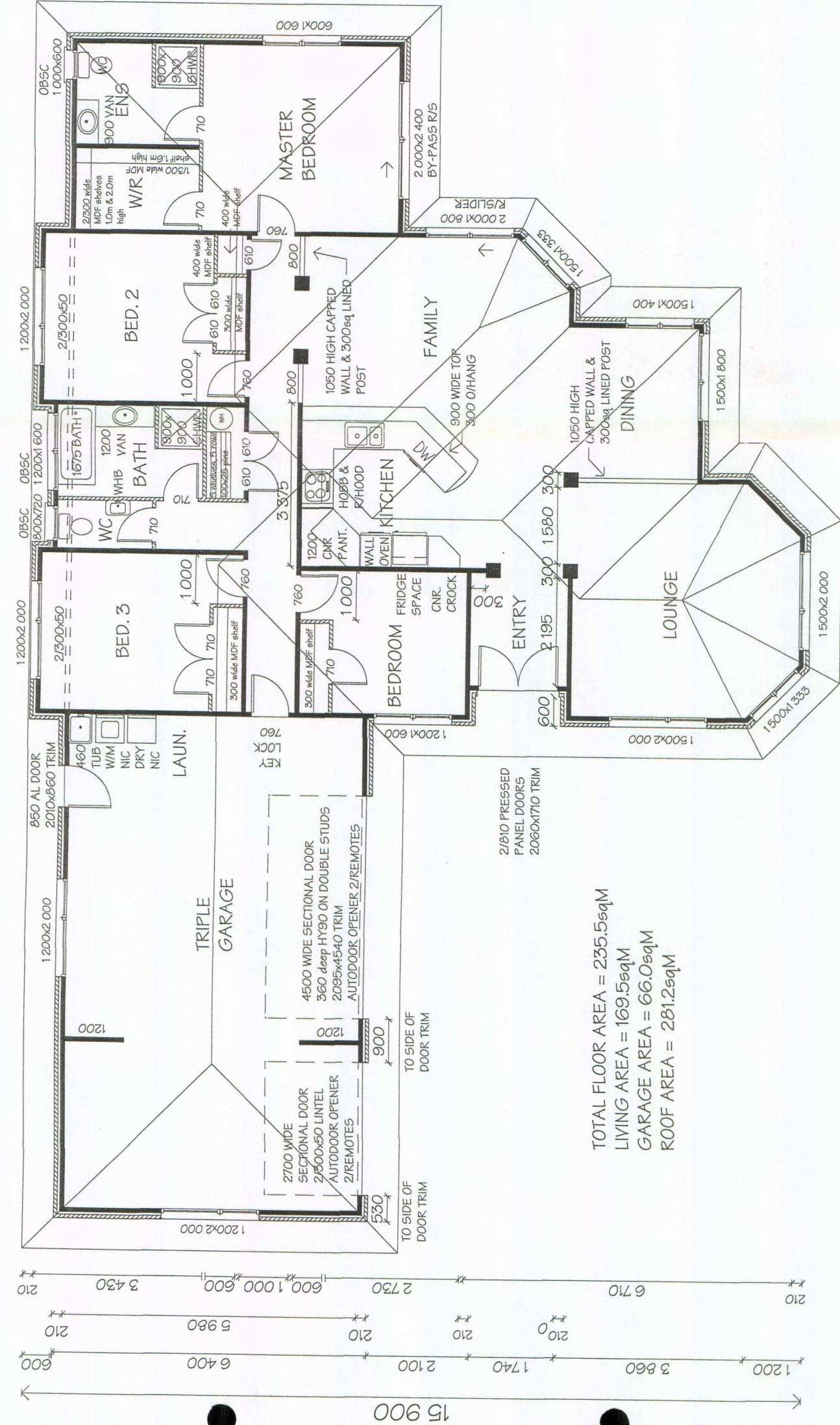
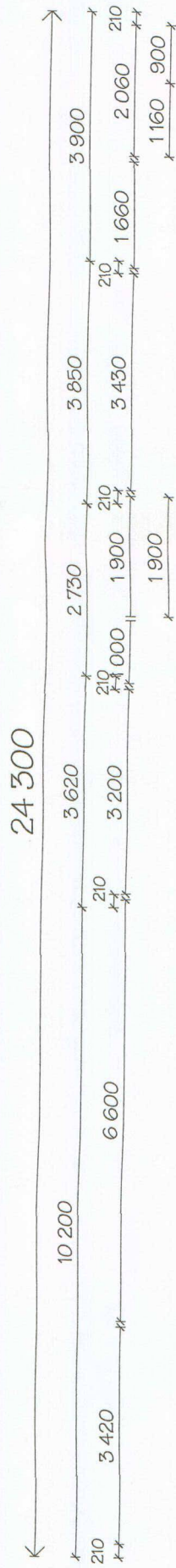
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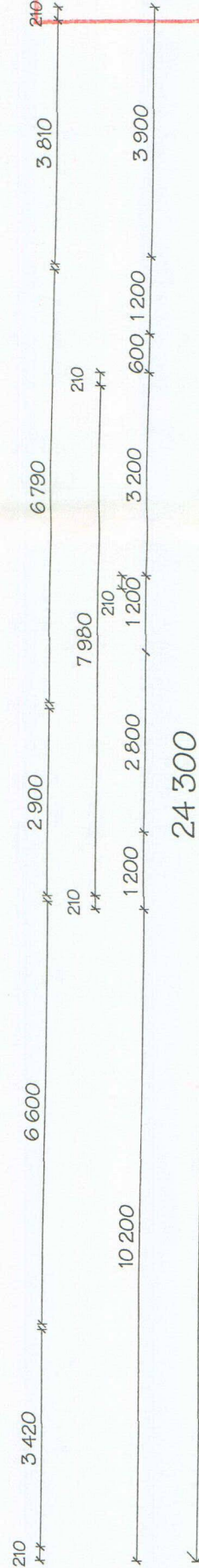
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DATE _____

DATE 12/11/03



TOTAL FLOOR AREA = 235.5sqM
LIVING AREA = 169.5sqM
GARAGE AREA = 66.0sqM
ROOF AREA = 281.2sqM



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NOTES

THE DIMENSIONS ON THIS FOUNDATION PLAN ARE TO BE CHECKED BY ALL TRADES PRIOR TO COMMENCEMENT OF ANY WORKS AS THEY ARE AN INDICATION ONLY AND HAVE BEEN SHOWN TO HELP VERIFY EACH TRADES OWN CALCULATION FROM THE FLOOR PLAN. THE DESIGNER TAKES NO RESPONSIBILITY FOR ANY ERRORS IN THE DIMENSIONS SHOWN.

REINFORCED CONCRETE SLAB TO BE IN ACCORDANCE WITH SECTION 7.5.8.6.4 OF NZS.3604:1999

SHRINKAGE CONTROL JOINTS IN SLAB SHALL COMPLY WITH THE FOLLOWING CRITERIA:

- (a) SHRINKAGE CONTROL JOINTS SHALL BE POSITIONED TO COINCIDE WITH MAJOR CHANGES OF PLAN
- (b) SUPPLEMENTARY STEEL (2 D10 BARS 12 LONG) AT EACH INTERNAL CORNER EXCEPT ACROSS SHRINKAGE CONTROL JOINTS
- (c) THE BAY DIMENSIONS SHALL BE FORMED BY CONSTRUCTION OR SHRINKAGE CONTROL JOINTS SHALL HAVE A MAXIMUM RATIO OF LENGTH/WIDTH OF 2:1

BECAUSE OF THE POSSIBILITY OF CRACKS DEVELOPING IN THE CONCRETE FLOOR DUE TO SHRINKAGE DURING THE CURING PROCESS, HARRISON CONSTRUCTION LTD. CANNOT GUARANTEE AGAINST FLOOR TILES BREAKING

SLAB THICKENING POSITIONS
UNDER GIRDER TRUSS LOADS

- HIGH WIND ZONE
- CORROSION ZONE 1
- EARTHQUAKE ZONE C

JOB TITLE

CLARKE RESIDENCE

LOT 16, DPS-321738

PIPIWAI ROAD D

WHANGAREI

DRAWING TITLE

WHANGAREI DISTRICT COUNCIL

FOUNDATION PLAN

SALES CHRIS

DRAWN ADRIAN

CHECKED

JOB No.

920B

SHEET No.

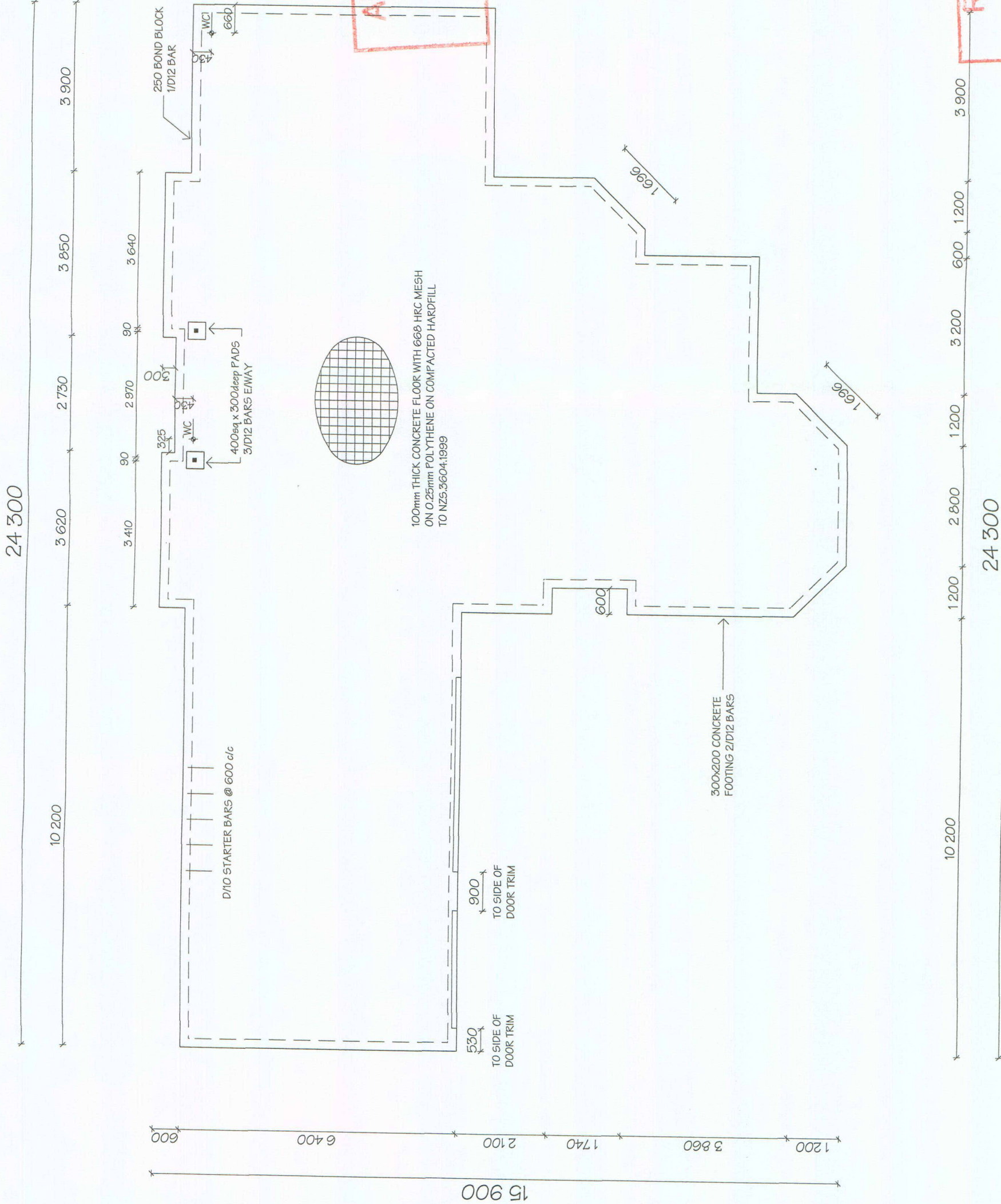
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PLAN NAME

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AVENUE TRIPLE

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NOTES

BRACE LABEL AND LENGTH

A11.2
GIB1

BRACE TYPE

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- HIGH WIND ZONE
- CORROSION ZONE 1
- EARTHQUAKE ZONE C

JOB TITLE

CLARKE RESIDENCE

LOT 6, DPS 321738

PIPIWAI ROAD

WHANGAREI

DRAWING TITLE COUNCIL

BRACING PLAN

SALES CHRIS

DRAWN ADRIAN

CHECKED

JOB No.

920B

SHEET No.

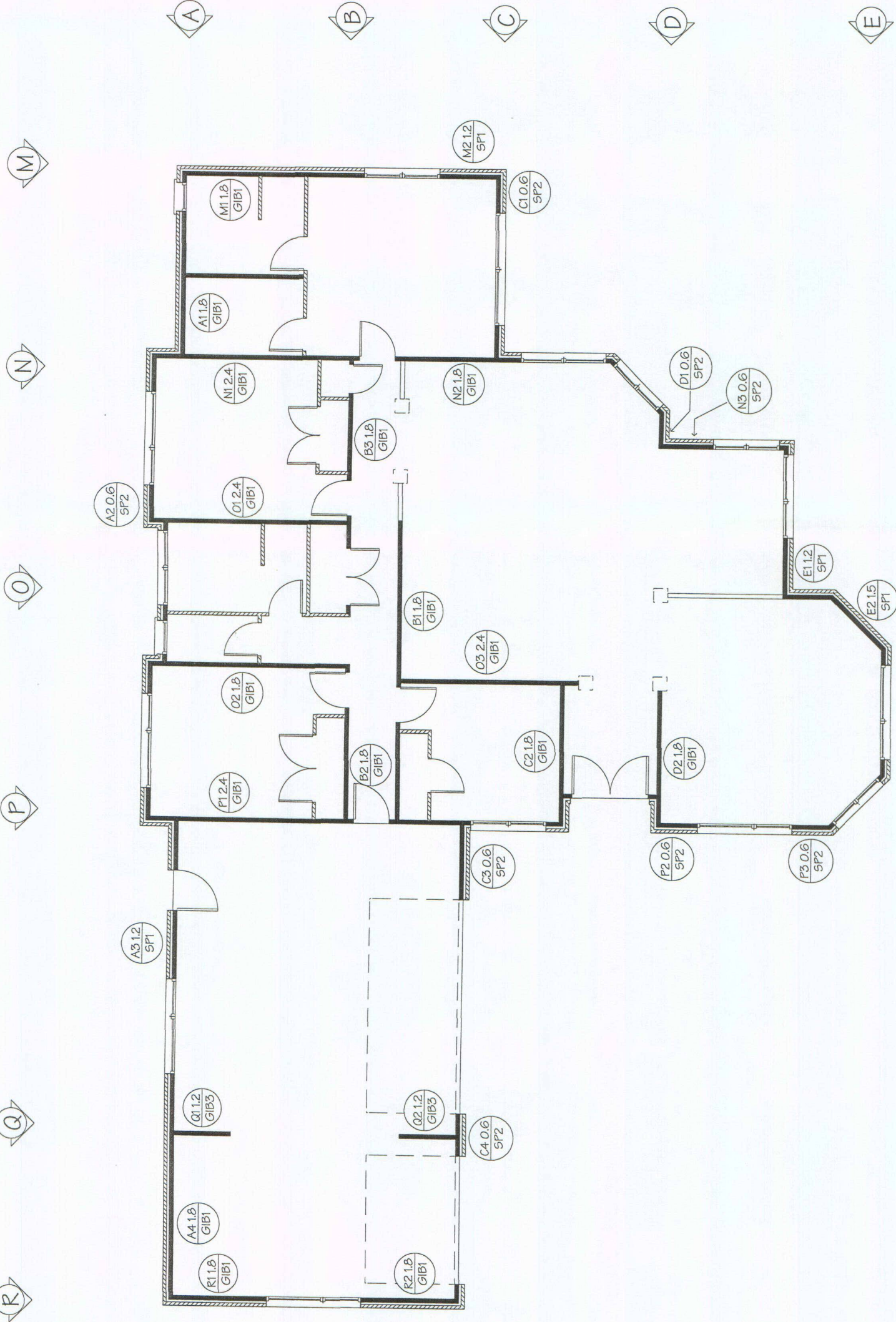
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PLAN NAME

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NOTES

ELECTRICAL KEY

- RECESSED LIGHTS 21 No.
- ⊗ 3 in 1 HEATLAMP & DUCTING 2 No.
- ⊖ SINGLE P/POINT 4 No.
- ⊖ DOUBLE P/POINT 12 No.
- ⊖ RCD RCD POINT 2 No.
- ⊖ HTR HEATED TOWEL RAIL 2 No.
- ⊖ TV TV OUTLET 1 No.
- ⊖ PH TELEPHONE JACK 2 No.
- 2 W 2 WAY LIGHT CIRCUIT 1 No.
- ⊖ RH RANGEHOOD DUCTING 1 No.
- ⊖ SMOKE DETECTORS 2 No.
- AUTO PANTRY LIGHT 1 No.
- AUTO GARAGE DOOR POINT 1 No.
- MAINS 10m
- 1 No.

METER BOX

HOBB, OVEN, & HWC WIRING
BUILDERS TEMPORARY SUPPLY
INSPECTION & CONNECTION FEES

- POSITION OF ELECTRICAL FIXTURES TO BE
CONFIRMED WITH OWNER ON SITE

- HIGH WIND ZONE
- CORROSION ZONE 1
- EARTHQUAKE ZONE C

JOB TITLE

CLARKE RESIDENCE
LOT6, DPS 321738
PIPIWAI ROAD
WHANGAREI

DRAWING TITLE

ELECTRICAL PLAN

SALES CHRIS

DRAWN ADRIAN

CHECKED

JOB No.

920B

SHEET No.

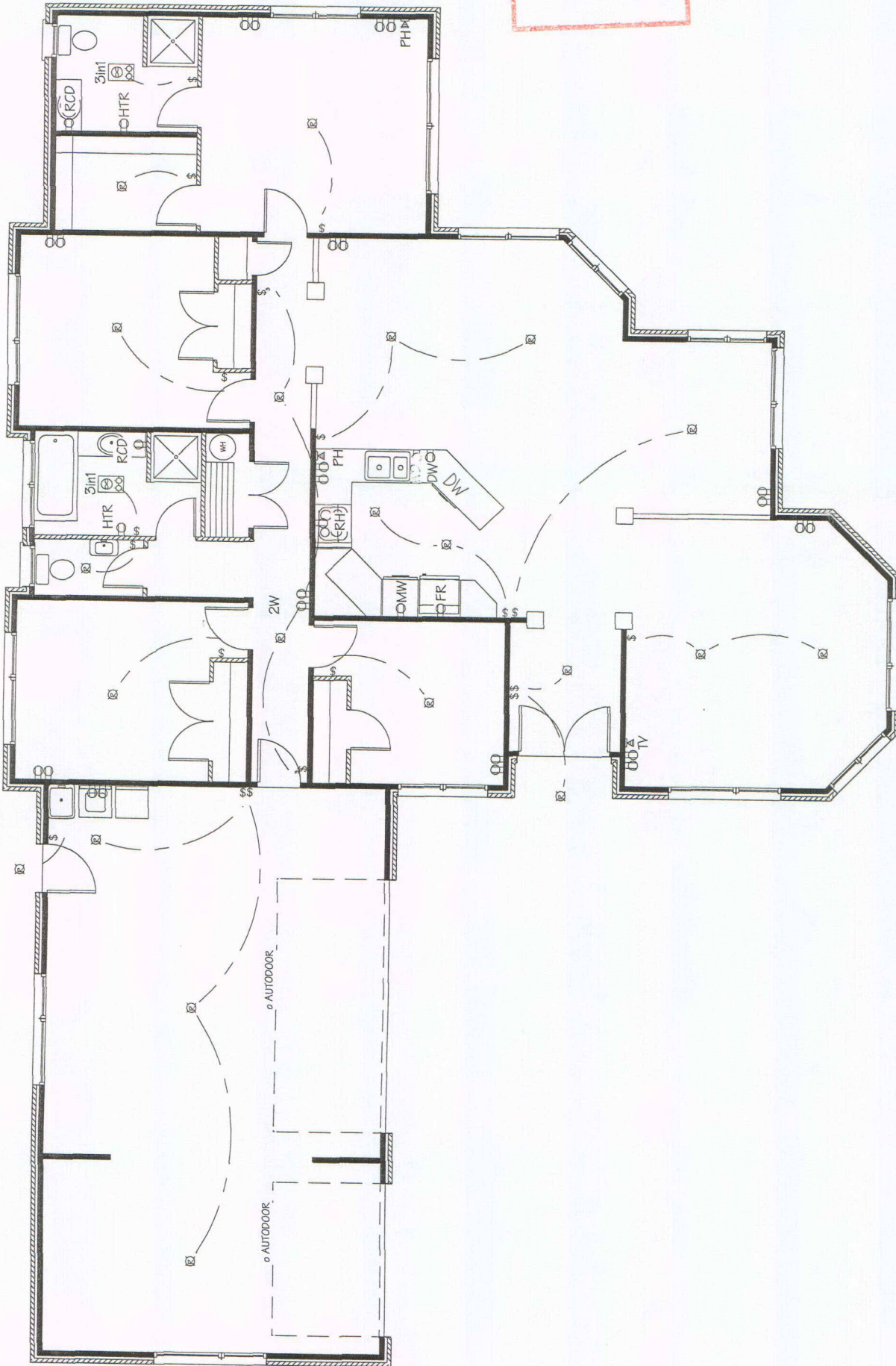
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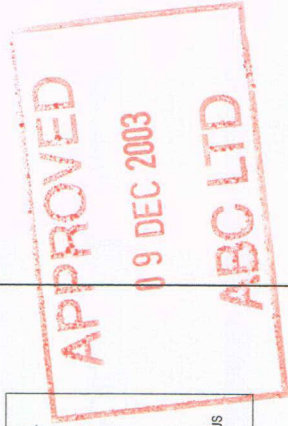
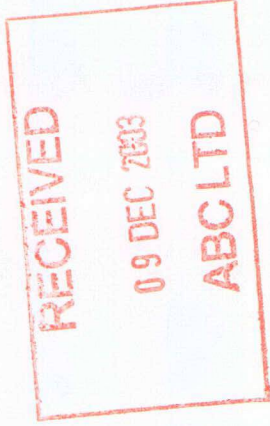
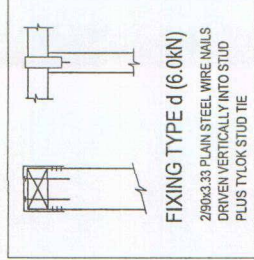
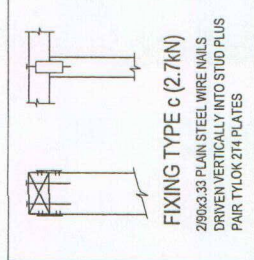
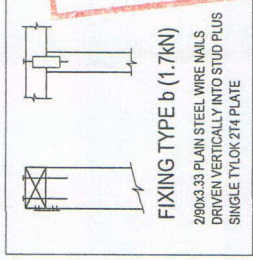
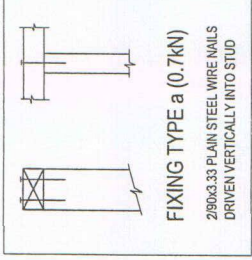
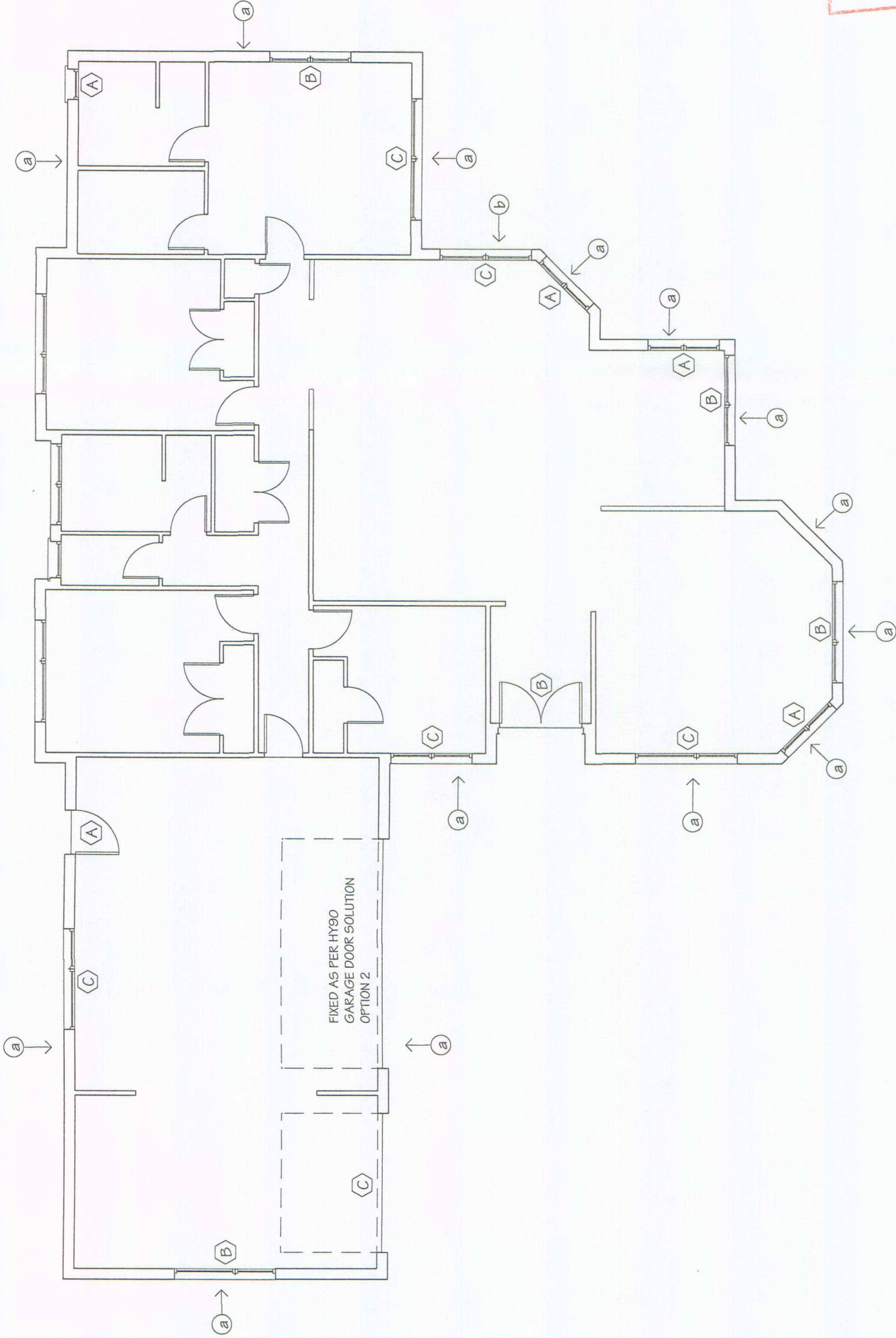
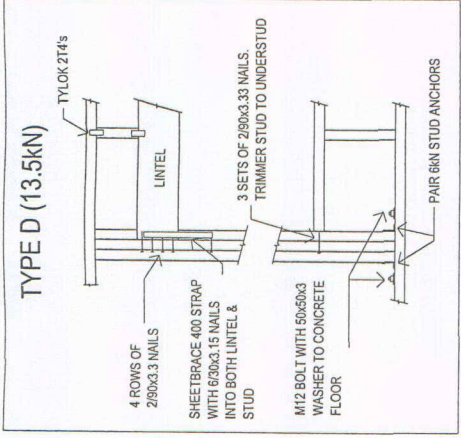
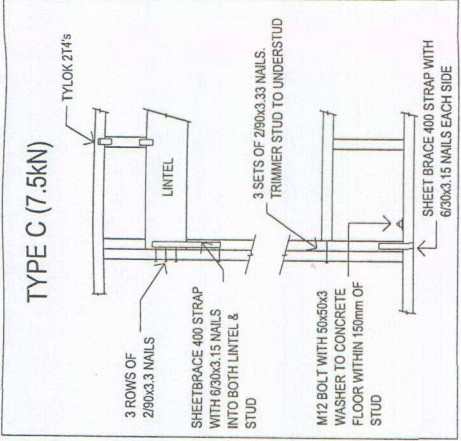
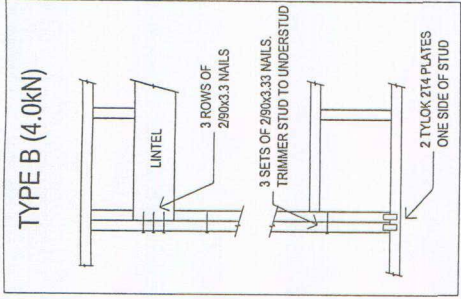
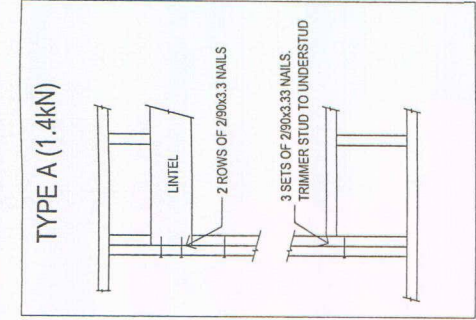
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JOB TITLE
CLARKE RESIDENCE
LOT6, DPS 321738
PIPIWAI ROAD
WHANGAREI

DRAWING TITLE
LINTEL & TOP
PLATE FIXINGS

SALES CHRIS
DRAWN ADRIAN
CHECKED

JOB No. 920B
SHEET No. 7 / 8

SCALE 1:100
DATE 12 / 11 / 03



PLAN NAME
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NOTES

FIXINGS FOR HIGH WIND ZONE

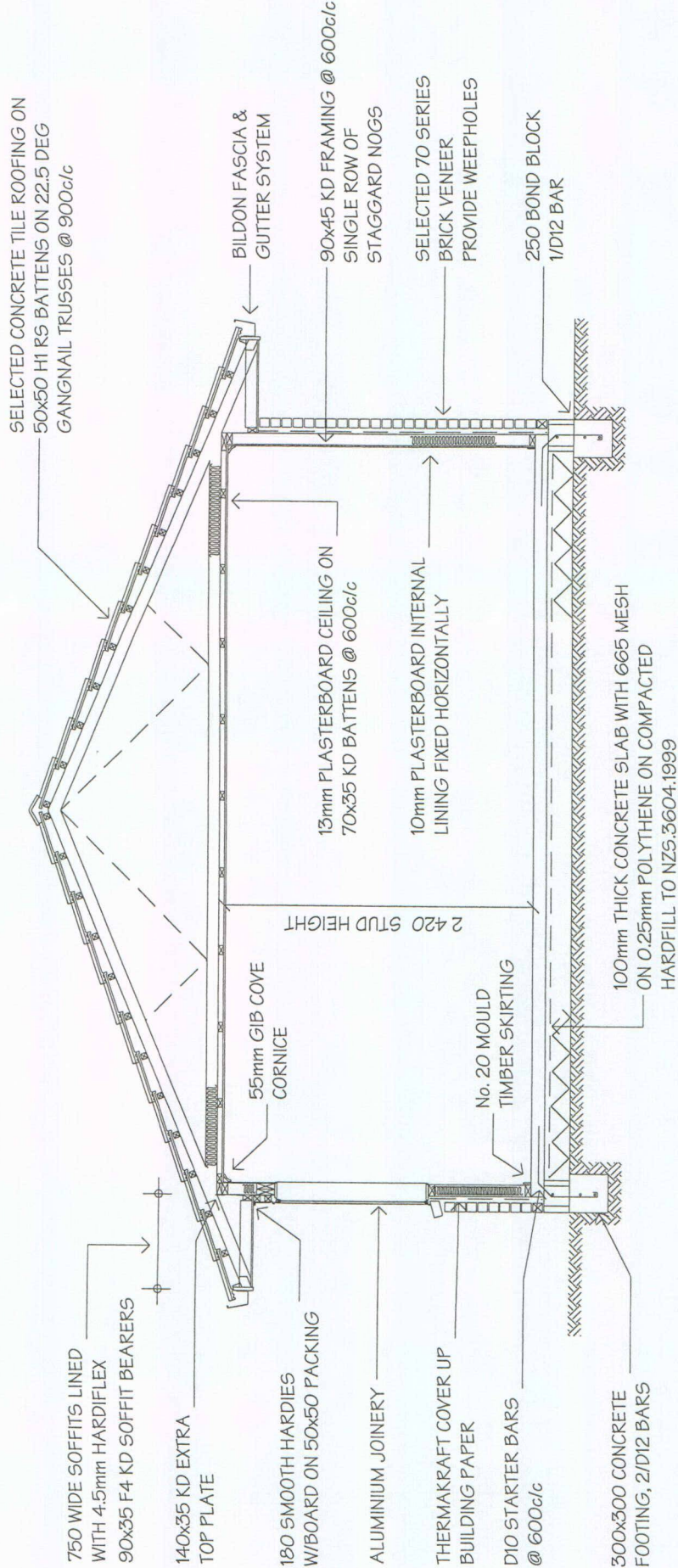
⬇ B LINTEL FIXING
← a TOP PLATE FIXING



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NOTES

- ROOF TRUSSES FIXED IN ACCORDANCE
WITH TABLES 10.12 & 10.13 NZS.3604:1999
- TILE BATTENS FIXED IN ACCORDANCE
WITH TABLES 10.9 & 10.10 NZS.3604:1999
- CORROSION ZONE XX, ALL FIXINGS TO
BE IN ACCORDANCE WITH SECTION 4,
DURABILITY, NZS.3604
- INSULATION :
R2.2 FIBREGLASS WALL BATTS
R2.6 FIBREGLASS CEILING BATTS



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- CORROSION ZONE 1
- EARTHQUAKE ZONE C
DEC 2003
CLARKE RESIDENCE
LOT 6, DPs 321738
PIPIWAI ROAD
WHANGAREI

DRAWING TITLE

TYPICAL SECTION

SALES	CHRIS
DRAWN	ADRIAN
CHECKED	
JOB No.	920B
SHEET No.	8 / 8
SCALE	1:50
DATE	12 / 11 / 03

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